

SUBDIVISION ACT 1988 PLAN OF SUBDIVISION	EDITION 1	PLAN NUMBER PS809751T
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LOCATION OF LAND PARISH: TRUGANINA TOWNSHIP: ----- SECTION: 15 CROWN ALLOTMENT: 2(PART) CROWN PORTION: ----- TITLE REFERENCES: FOL. FOL. LAST PLAN REFERENCE: LOT N ON PS741155L AND LOT P ON PS800327G POSTAL ADDRESS: 80 WOODS ROAD (at time of subdivision) TRUGANINA, VIC 3029 MGA CO-ORDINATES: E 299 570 ZONE: 55 (of approximate centre of land in plan) N 5 810 455 GDA 94	COUNCIL NAME : WYNDHAM CITY COUNCIL
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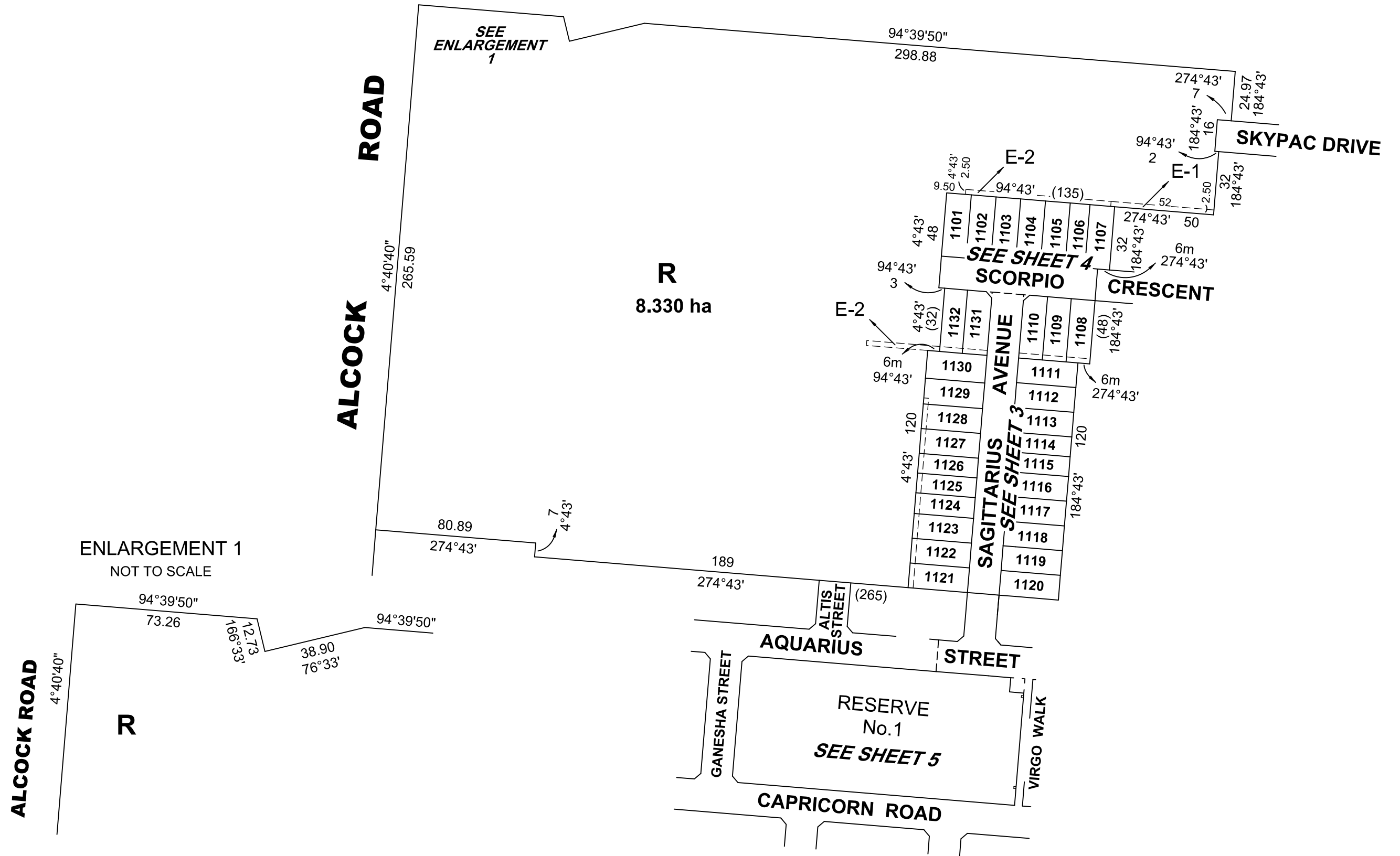
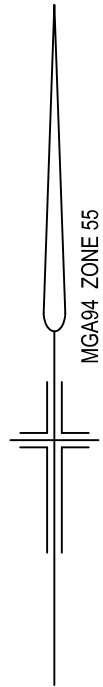
VESTING OF ROADS OR RESERVES		ELPIS ESTATE - RELEASE 11 NUMBER OF LOTS IN THIS PLAN : 32 PLUS 1 BALANCE LOT TOTAL AREA OF LAND IN THIS PLAN : 10.794ha (INCLUDING BALANCE LOT: 8.330ha) DEPTH LIMITATION: DOES NOT APPLY
IDENTIFIER	COUNCIL / BODY / PERSON	
ROADS, R-1 RESERVE No.1	WYNDHAM CITY COUNCIL WYNDHAM CITY COUNCIL	

NOTATIONS	
LOTS 1-1100 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.	OTHER PURPOSE OF THIS PLAN : 1) CREATION OF RESTRICTIONS FOR RESTRICTION DETAILS REFER TO SHEET 6. ANY EASEMENTS SHOWN ON PREVIOUS PLANS AS IT AFFECTS ROAD R-1 ON THIS PLAN ARE REMOVED VIDE SCHEDULE 5 CLAUSE 14 OF THE ROAD MANAGEMENT ACT.

EASEMENT INFORMATION					STAGING: THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. WYP6214/12 SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s). 164 IN PROCLAIMED SURVEY AREA No. -----
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)					
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED /IN FAVOUR OF	
E-1	SEWERAGE	SEE DIAG.	PS741155L	CITY WEST WATER CORPORATION	
E-2	SEWERAGE	SEE DIAG.	THIS PLAN	CITY WEST WATER CORPORATION	
E-17	POWERLINE (SECTION 88 ELECTRICITY INDUSTRY ACT 2000)	SEE DIAG.	PS741154N	POWERCOR AUSTRALIA LIMITED	

REF: 22562/11PS	VERSION: H	DATE: 03/09/19	22562-11-PS-M-H.DGN	ORIGINAL SHEET SIZE A3	SHEET 1 OF 6 SHEETS
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	Reeds Consulting Pty Ltd Lvl 6, 440 Elizabeth Street Melbourne Victoria 3000 p (03) 8660 3000 www.reedsconsulting.com.au survey@reedsconsulting.com.au	LICENSED SURVEYOR THOMAS ANDREW MILLAR
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SCALE 1:2000
50 0 50
LENGTHS ARE IN METRES

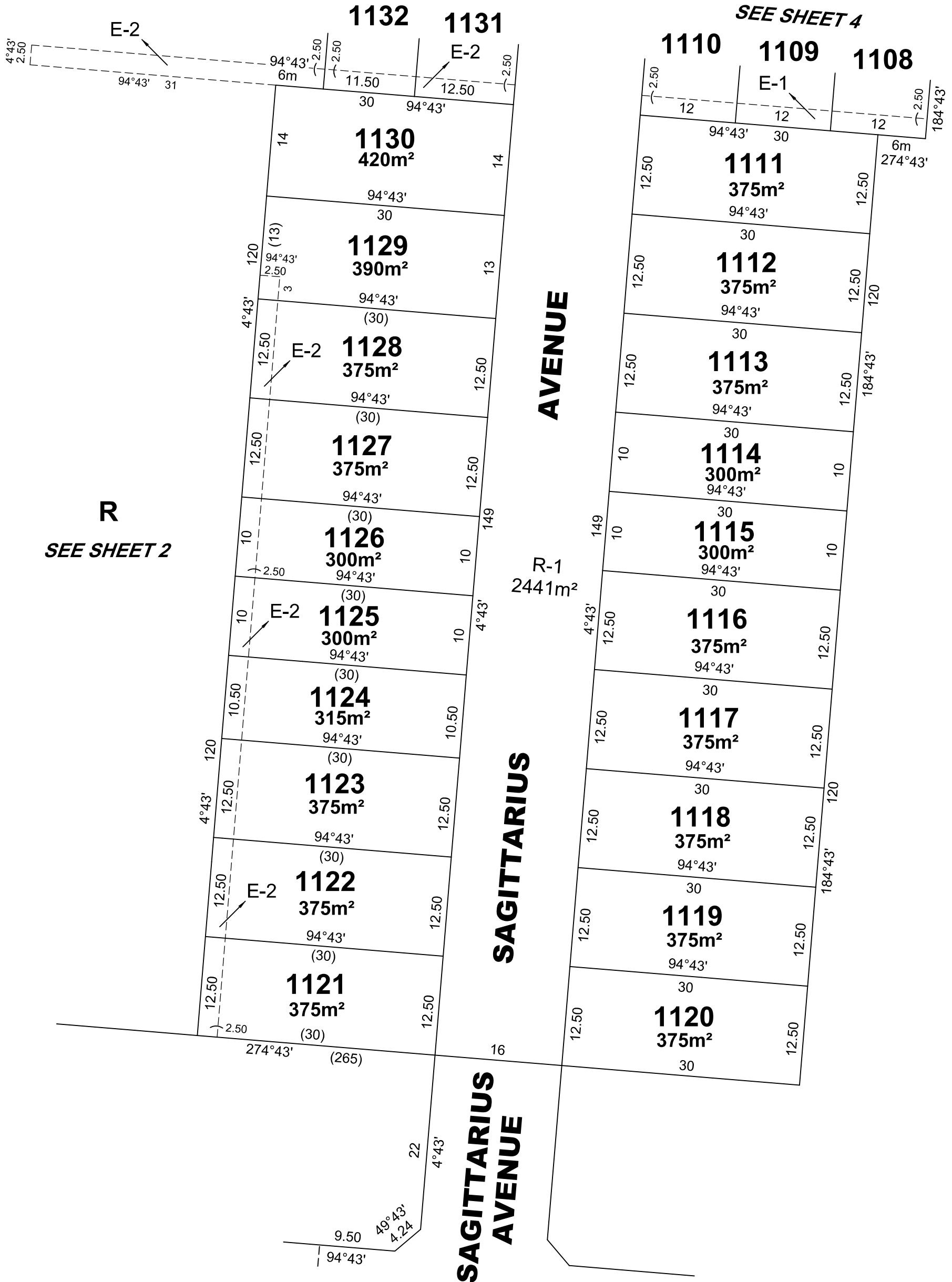
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THOMAS ANDREW MILLAR

ORIGINAL SHEET
SIZE A3

SHEET 2

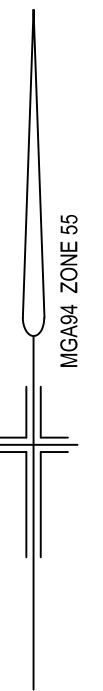
SEE SHEET 4

SEE SHEET 4



R
SEE SHEET 2

SEE SHEET 5



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SCALE 1:500
LENGTHS ARE IN METRES

ORIGINAL SHEET SIZE A3

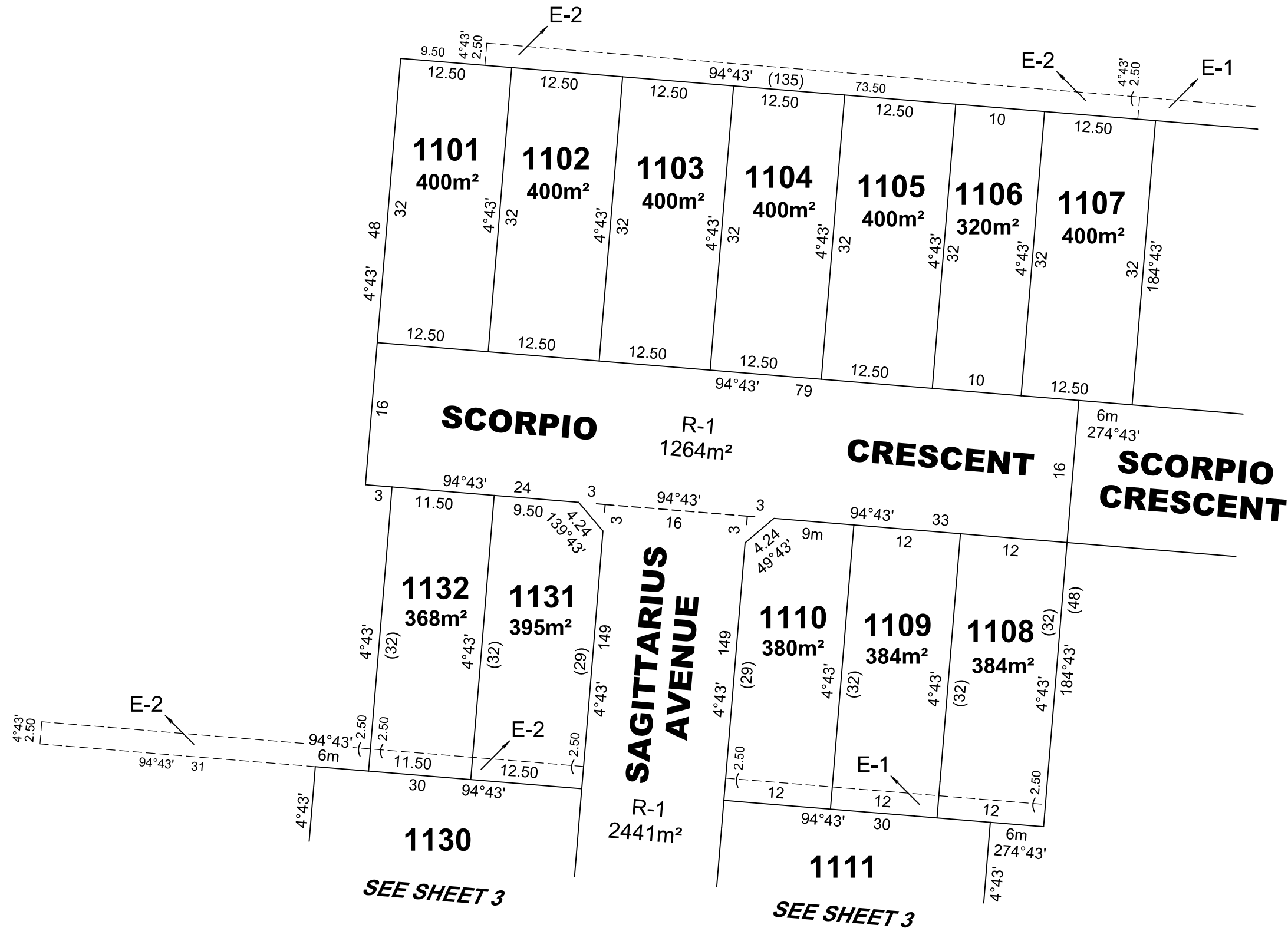
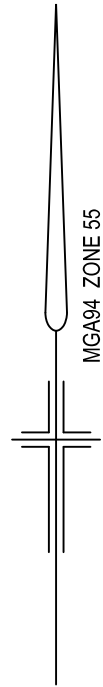
SHEET 3

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R
SEE SHEET 2



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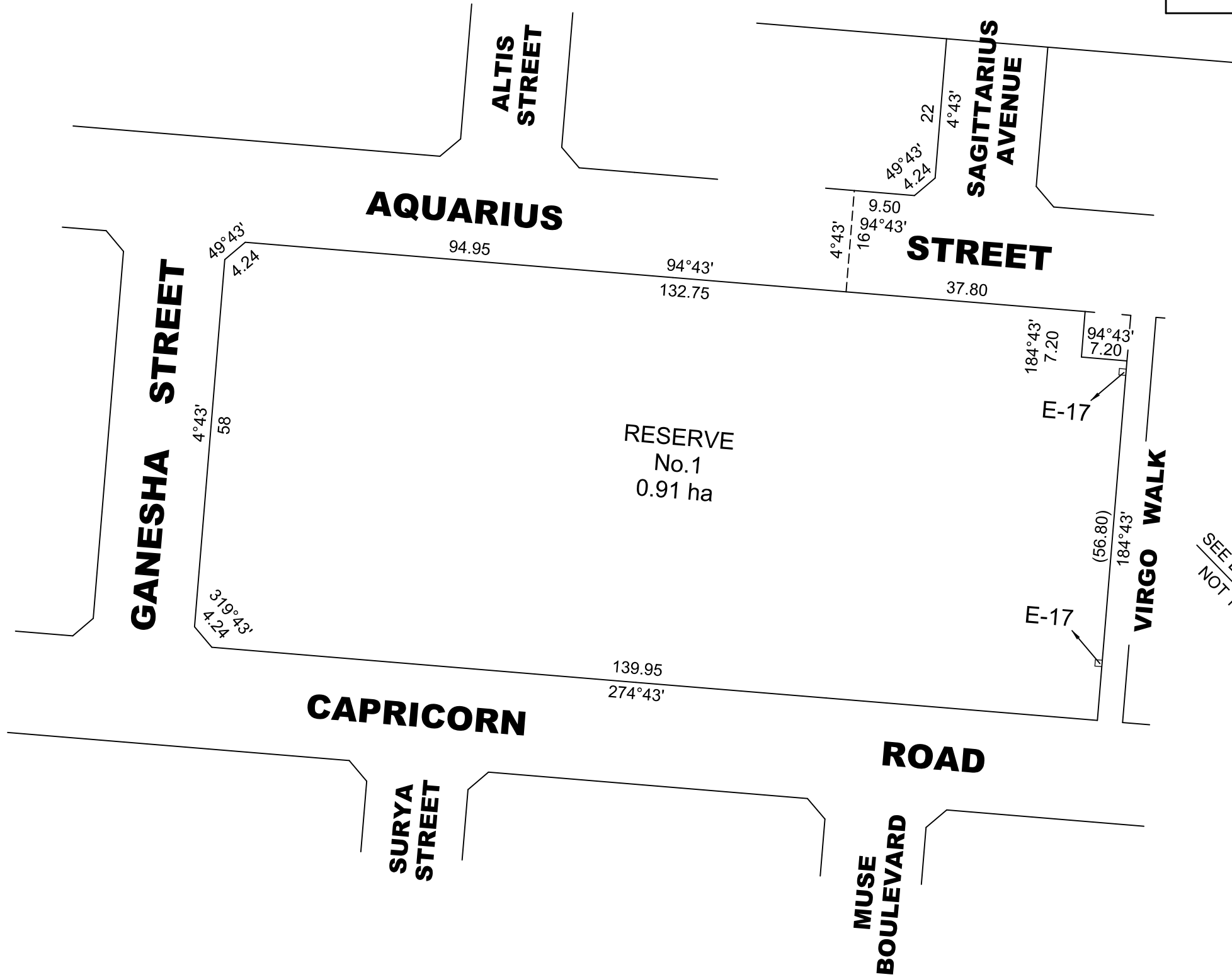
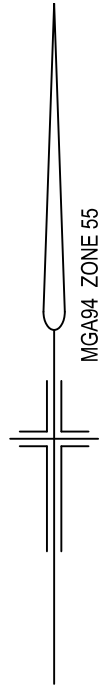
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ORIGINAL SHEET
SIZE A3

SHEET 4

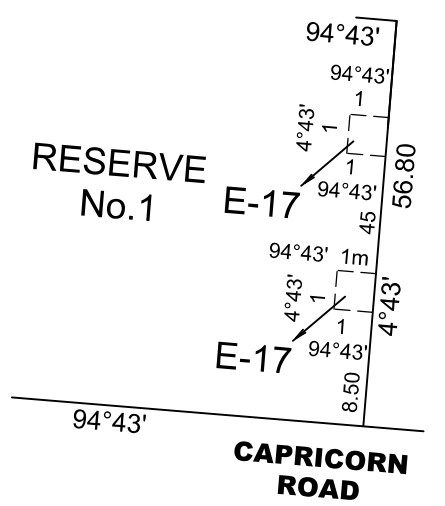
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SEE SHEET 3



SEE ENLARGEMENT
NOT TO SCALE

ENLARGEMENT
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SCALE 1:750
LENGTHS ARE IN METRES

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ORIGINAL SHEET
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SHEET 5

CREATION OF RESTRICTION No.1

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION IS TO BE CREATED:

LAND TO BENEFIT: LOTS 1101 TO 1132 (BOTH INCLUSIVE) ("BENEFITED LOTS")

LAND TO BE BURDENED: LOTS 1101 - 1132 (BOTH INCLUSIVE) ("BURDENED LOTS")

DESCRIPTION OF RESTRICTION:

- 1) THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT MUST NOT ERECT, CAUSE OR PERMIT TO BE ERECTED OR REMAIN ON THE LOT A DWELLING OR OTHER STRUCTURE OTHER THAN A DWELLING THAT INCORPORATES DUAL PLUMBING FOR THE USE OF RECYCLED WATER FOR THE USE OF TOILET FLUSHING AND GARDEN WATERING SHOULD IT BECOME AVAILABLE.
- 2) THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR ERECT OR ALLOW TO BE BUILT OR ERECTED ANY BUILDING OR STRUCTURE, OTHER THAN A BUILDING OR STRUCTURE WHICH IS BUILT OR ERECTED IN ACCORDANCE WITH THE PROVISIONS OF THE MEMORANDUM OF COMMON PROVISIONS RETAINED BY THE REGISTRAR OF TITLES IN DEALING NO. AA3149 WHICH MEMORANDUM OF COMMON PROVISIONS IS INCORPORATED INTO AND BY THIS PLAN.
- 3) THIS CREATION OF RESTRICTION NO.1 SHALL CEASE TO HAVE EFFECT 10 YEARS AFTER THE DATE OF REGISTRATION OF THIS PLAN.

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SHEET 6



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