

Permit No: WYP6214/12.13
Condition No: 22(d)
Sheet: 1 of 15
Approved by: Caitlin Spratling
WYNDHAM CITY COUNCIL
Date: 03 July 2018



ELPIS

TRUGANINA

DESIGN GUIDELINES



on the
right path

PLAN / DOCUMENT AS REQUIRED UNDER CONDITION OF PERMIT
PLANNING AND ENVIRONMENT ACT 1987
WYNDHAM PLANNING SCHEME

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1. location

- Situated 21km's from the Melbourne CBD, Elpis is one of the outer west's newest master planned communities with focus around the estate conservation area complete with running tracks, landscaping and boardwalks creating a stunning visual masterpiece.

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2. vision

- In bringing Elpis to life, it has been designed to enrich the existing landscape with the land setting itself beside the natural conservation site to the west.
- The wetlands in Elpis have been incorporated into sensitively designed public open spaces to enhance the sense of secluded sanctuary. Its disparate parts are inspired by natural elements which hover together harmoniously to evoke warmth, growth, balance, sustenance and life.
- Designed as a quiet urban retreat, it nevertheless will have all of the advantages of the modern world.



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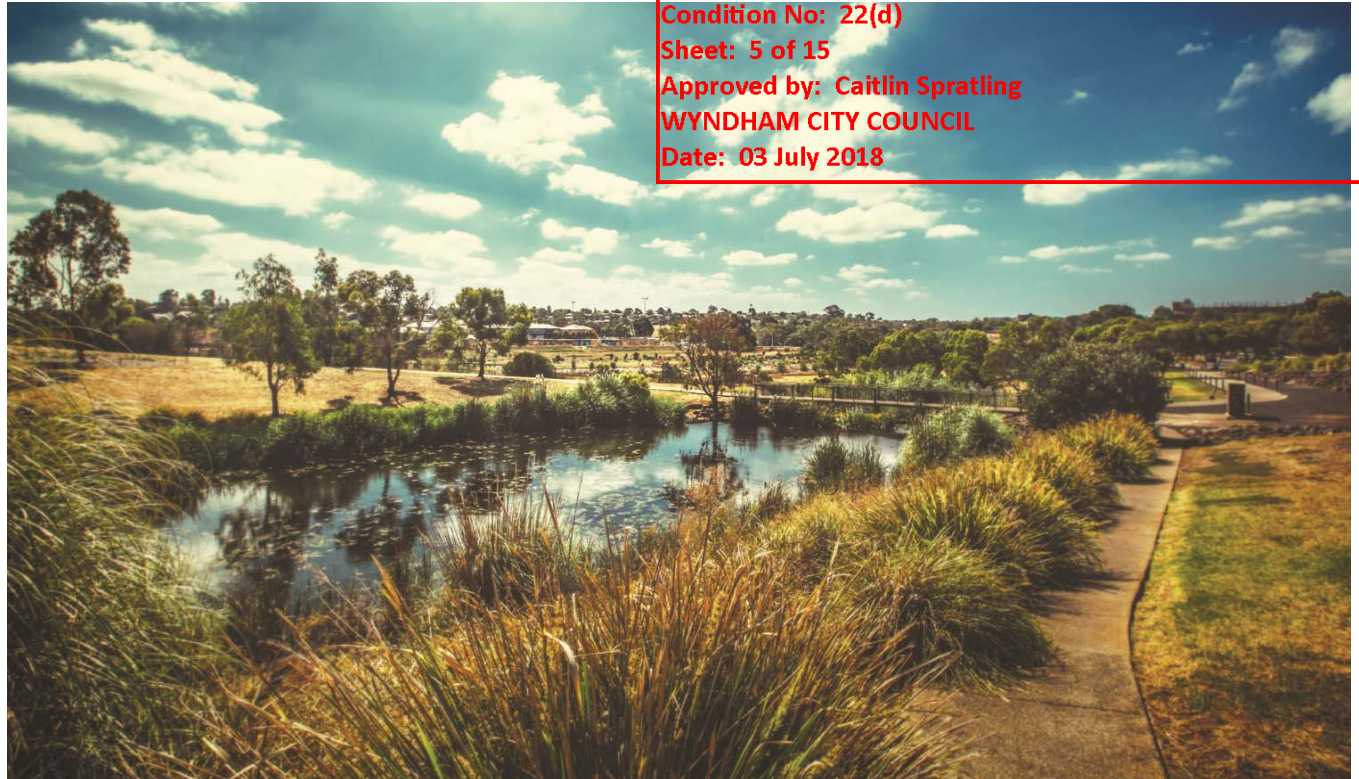
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3. the guidelines

The design guidelines have been developed to represent the intended vision for Elpis. The guidelines seek to:

- encourage the development of a well planned, inviting neighbourhood which enhances the security of investment.
- foster a strong foundation for a neighbourly environment where safety and security are inherent.
- promote open, interesting streetscapes and support positive environmental benefits.
- ensure that homes assist in creating a sense of community.
- establish and maintain a consistent level of high quality construction and landscaping outcomes.
- support design principles and building materials which support energy efficiency and sustainability.



4. design approval

- Approval is required from the Elpis Design Review Committee (DRC) for the construction of all new dwellings and garages on any allotment within the Elpis estate.
- Upon receiving approval from the DRC, the applicant must then obtain building approval for the dwelling from the Local Council / independent Building Surveyor and/or any other governing authority.
- It is the responsibility of the applicant to ensure all proposed works meet relevant Authority approvals and the required permits are obtained.
- The DRC will endeavour to ensure that all proposed works are compliant with the Design Guidelines. The Design Guidelines should be read in conjunction with any relevant Covenants.
- The final decision of all aspects of the Design Guidelines will be at the discretion of the DRC. The DRC reserve the right to waive or vary any requirement of the Design Guidelines.
- The DRC will endeavour to assess proposals within 10 business days.
- It is the purchaser's responsibility to ensure that proposals comply with the Victorian Building Code, Rescode and all other planning and authority requirements, along with current Victorian energy rating standards prior to construction. Approval from the DRC is not an endorsement that plans comply with the above mentioned requirements.

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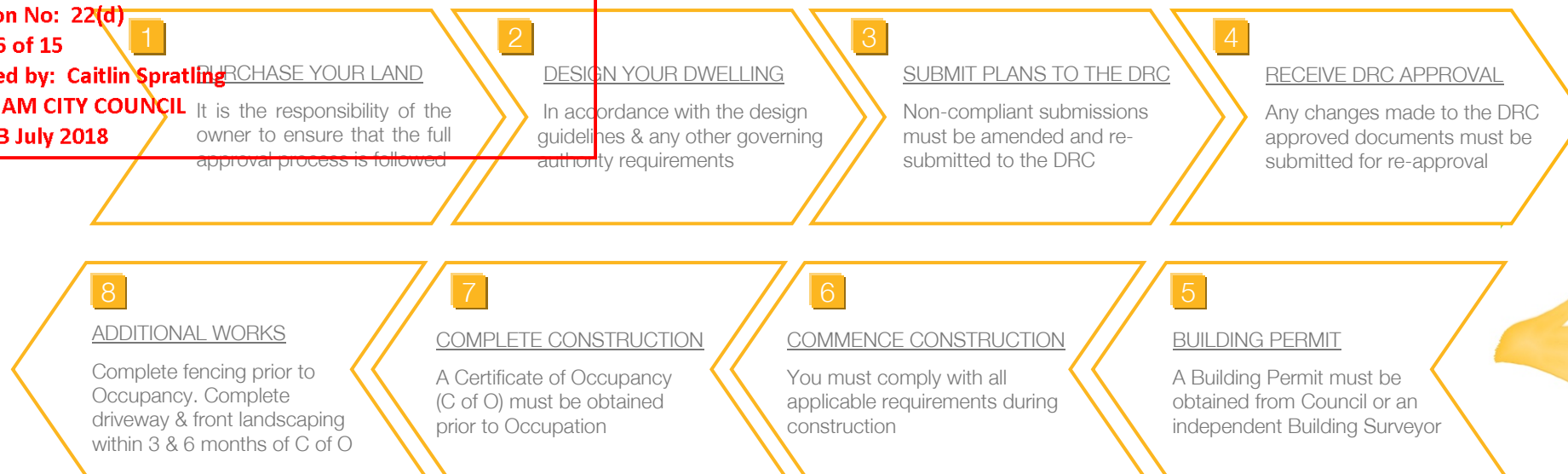
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5. submitting your application

The following must be submitted to the DRC:

1. Completed application form

2. Site Plan (scale 1 : 200)

- Must indicate all boundary setback dimensions, total site coverage and floor areas, site contours, north point, easements, vehicle crossover, driveway and other non permeable surfaces, fencing details, ancillary items, any proposed outbuildings and details of any proposed retaining walls.

3. Floor Plans (minimum scale 1 : 100)

- Must indicate all key dimensions, internal layout, including rooms, pergola, decks, terraces, balconies, verandahs, window & door openings and ancillary items.

4. Elevations (minimum scale 1 :100)

- Must include all 4 elevations and indicate building heights, finished floor to ceiling levels, roof pitch, eaves depth, external finishes, ancillary items, existing ground levels, proposed earthworks and details of any proposed retaining walls.

5. External Colour & Material Selection

- Must submit details of all proposed external colours and materials, including manufacturer brands, colour names and colour swatches where possible.

6. Front landscape plan

- Professionally drafted plans are preferred; however, purchasers may draw their own plan as either a hand drawn annotated site plan with landscape detail or a computer drawn plan. Refer to section 22 for more information.

Please Note:

- If submitted to 339 Ferrars Street Albert Park, plans must be provided in A3 format.
- If submitted to elvis@sheltonfinnis.com.au, all documents submitted must be in pdf format.
- For further enquiries, please contact the DRC on (03) 9699 2133

Submit your application to:

Elvis@sheltonfinnis.com.au

OR

Design Review Committee
339 Ferrars Street
Albert Park VIC 3206

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6. lots less than 300m²

- The Small Lot Housing Code has been applied to lots less than 300m².
- All small lots within Elpis are defined as Type A lots under the code.
- Small lots must also comply with the requirements of these design guidelines. In the case of conflict between the Small Lot Housing Code and these design guidelines, the requirements of the Small Lot Housing Code shall prevail.
- Refer to the Metropolitan Planning Authority (MPA) website for information regarding the Small Lot Housing Code:
 - <http://www.mpa.vic.gov.au/planning-activities/greenfields-planning/small-lot-housing-code/>
 - <http://www.mpa.vic.gov.au/wp-content/uploads/2012/11/Small-Lot-Housing-Code-August-20141.pdf>

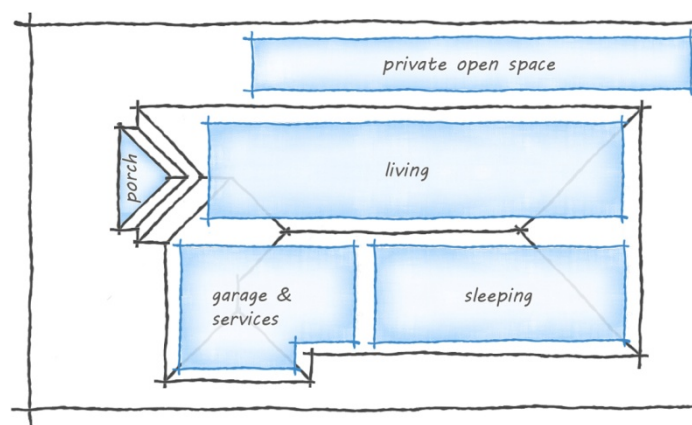
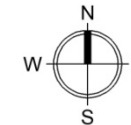
Examples of outdoor living areas:



7. solar access & energy efficiency

- All homes must comply with Victoria's energy rating requirements as currently legislated (an Energy Rating Certificate will be required prior to obtaining a Building Permit).
- Where possible, maximise the northern aspect of living areas and private open spaces (courtyards, verandahs, etc) and locate bedrooms and service spaces to the south.
- Light to medium roof colours and encouraged in order to minimise heat absorption and associated energy costs.

Example of efficient orientation:



- living areas facing north
- sleeping areas facing south or east
- main private open space facing north
- garage and services facing south or west
- porch/facade projection provides shade to west elevation
- Information and tips regarding energy efficiency are available on Sustainability Victoria's website: www.sustainability.vic.gov.au

8. private open space

- A portion of private open space must be located next to indoor living areas to better accommodate outdoor living and entertaining.
- Where possible, private open space should face north to maximize solar access and energy efficiency.
- Note: private open space is an unroofed area of land or a deck, terrace, patio, balcony, pergola, verandah, gazebo or swimming pool.

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9. amenity impacts

- Potential future overlooking and overshadowing of neighbouring properties should be carefully considered.
- It is the responsibility of the owner, builder and/or Building Surveyor to ensure that dwellings comply with any applicable overlooking and/or overshadowing requirements prior to the issue of a Building Permit.

10. dwelling size

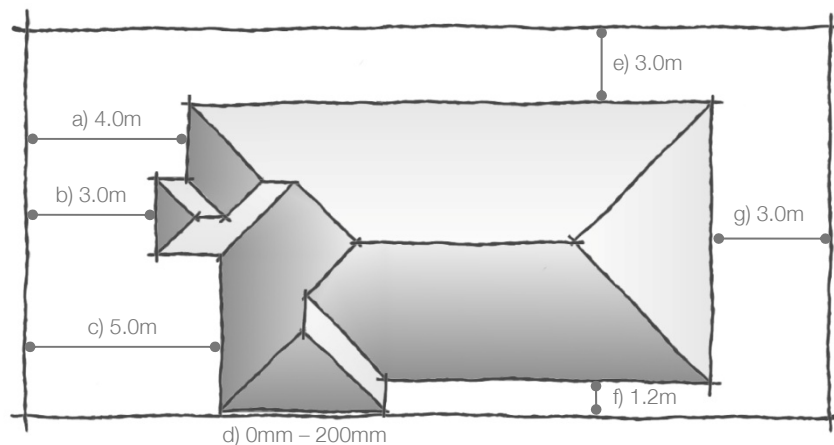
- | Lot Size: | Minimum Dwelling Size: |
|---------------------------------------|------------------------|
| 300m ² - 399m ² | 110m ² |
| 400m ² - 499m ² | 130m ² |
| 450m ² - 499m ² | 150m ² |
| 500m ² & above | 170m ² |
- Dwelling size calculation excludes porches, verandahs and garages.

11. setbacks

- All setbacks must comply with Part 4 of the Building Regulations 2006 and Clause 54 of the Wyndham Planning Scheme as applicable.
 - Garages must be setback behind the front wall of the dwelling by at least 840mm and at least 5.0m from the front boundary.
- Dwelling front setback: minimum 4.0m
 - Porch front setback: porches, verandahs and pergolas not exceeding 3.6m in height above natural ground level may encroach up to 2.5m into the minimum 4.0m dwelling front setback
 - Garage front setback: minimum 5.0m and at least 840mm behind the dwelling front setback
 - Walls on boundary: 0mm – 200mm setback. Wall height must not exceed 3.2m
 - Side setback: minimum 1.0m for walls not on the boundary
Note: minimum 2.0m is required for corner lot side boundaries
 - Side setback: minimum 1.0m for walls not on the boundary. A larger setback may be required where the wall contains a habitable room window
 - Rear setback: minimum 1.0m for walls not on the boundary. A larger setback may be required to comply with private open space requirements.

Note: Lots with a rear sewer easement must provide a minimum 1.0m wide unrestricted pedestrian access from the street to the rear of the lot on one side boundary.

Example of setback requirements:



12. dwelling design

- Dwelling designs must be contemporary – traditional features will not be permitted.
- Front facades must sufficiently address the street. Details to be considered include:
 - An entry feature such as a porch
 - Window configurations and positions
 - Articulation of the floor plan and roof line
 - The choice of external materials and colours
- Large areas of blank or unarticulated walls will not be permitted.
- Double storey homes must incorporate setback articulation between ground and first floor.
- A verandah or porch with an area of at least 3m² and depth of 1.5m must be provided to the dwelling entry on the front facade.
- All roofs must incorporate a minimum eave width of 450mm to the street and/or reserve frontage/s (excluding the garage). Eaves must return for a minimum distance of 3m along the connecting elevation/s for single storey dwellings. Double storey dwellings must include eaves to the entire first floor.
- Where hipped roofs are used, the roof pitch must be at least 22 degrees.
- Flat roof forms must be concealed behind a parapet where visible from the street, unless otherwise approved by the DRC. Skillion roof forms will be assessed on their merits by the DRC.
- Garages on rear loaded lots shall use a variety of roof lines, which may include pitched rooflines and reversed angled rooflines.



Acceptable dwelling designs:

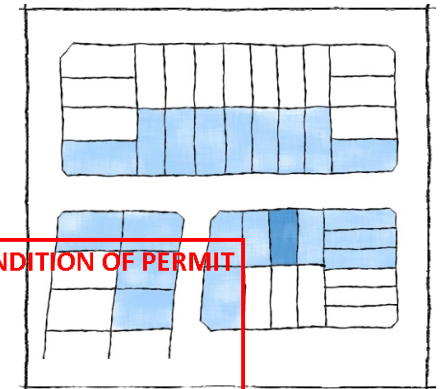


13. facade variation

- Two dwellings of the same or overly similar front façade shall not be built within view of each other or in close proximity to each other as determined by the DRC (applicable to allotments within 5 lots).

Example of facade checking range:

-  Dark blue lot denotes a façade that has already been approved by the DRC
-  You cannot have a similar or identical façade to the dark blue lot if you are building on a light blue lot



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14. corner lots

- Side elevations facing a road or reserve must include sufficient detailing which matches and compliments the design of the front elevation. A corner 'feature' must be included to the portion of the elevation that will be exposed to the road or reserve.
- Windows must be included to corner elevations and shall match the front facade windows where possible. Additionally, double storey homes must have first floor windows on the corner elevation which match the front facade windows, with consistent sizing and alignment to be considered.
- Blank walls to corner elevations will not be permitted, nor will unarticulated walls of more than 8 metres to double storey corner elevations.
- Locating bathrooms and laundries on corner elevations is discouraged.
- The provision of studios and decks above the garage on rear loaded corner lots is encouraged (side street and rear lane setbacks shall comply with Regulation 409 and Regulation 414 & 415 respectively).
- Refer to section 18 for corner fencing requirements.

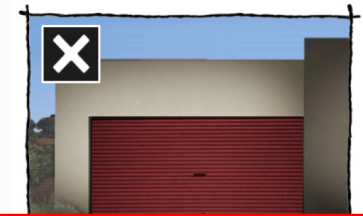
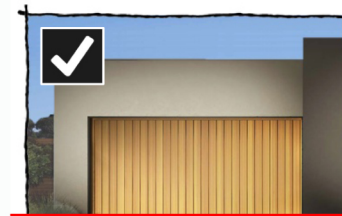
Acceptable corner lot designs:



15. garages

- All lots must provide vehicle accommodation in the form of an enclosed garage.
- Garages must not dominate the façade and must have a panel lift/sectional door to the street frontage (roller doors will not be permitted).
- Garages must be setback at least 840mm behind the front wall of the dwelling and must be setback at least 5.0m from the front boundary.
- Provision must be made for 2 car parking spaces on the allotment that are accessible from the street. One space must be at least 6m long and 3.5m wide and the second space must be at least 4.9m long and 2.6m wide. If the 2 required car parking spaces adjoin each other in a garage, the double space may be 5.5m in width.
- For lots with vehicle access via a rear laneway, the garage must be constructed on the rear boundary (0mm-200mm) or at least 1.0m off the rear boundary

Acceptable & unacceptable garage doors:



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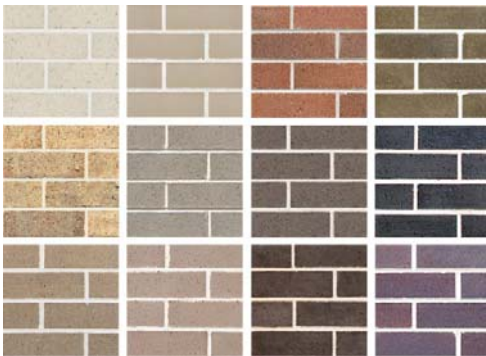
16. external materials & colours

- Roofs must be constructed from masonry, concrete or terracotta tiles or Colorbond. Other non-reflective materials may be considered by the DRC.
 - Preferred materials are:
 - Face brickwork in a contemporary style, including feature glazed brickwork.
 - Rendered lightweight cladding or masonry
 - Weatherboards/cement composite materials in contemporary clean line styles (ie matrix cladding)
 - Timber cladding (ie cedar, shiplap, plywood)
 - Selective use of stone or tile cladding or corrugated sheet metal
 - At least 50% of the external walls must be constructed from brick or a rendered finish.
 - A minimum of two materials must be used on nominated facades. No single material may comprise more than 80% of the façade (excluding windows, doors and roof). This applies to:
 - Front elevations – all lots
 - Side and rear elevations which face a street or reserve
- Note: Contrast feature brickwork may be acceptable as a second material; however, brick selection must reflect an appropriate high quality finish. Approval is at the discretion of the DRC.
- It is recommended that external colour schemes do not include: bright, fluorescent, reflective or heritage colours or materials. Natural, neutral and/or muted overall colour schemes which are generally consistent with or equivalent to those shown in example colour palettes are preferred. Highlight colours and textures may be permitted to selected areas of a façade.
 - The final decision relating to all external materials and colours will be at the discretion of the DRC.

Example roof palette:



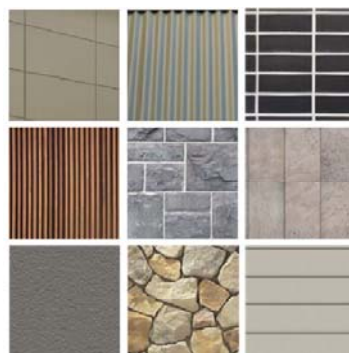
Example brick palette:



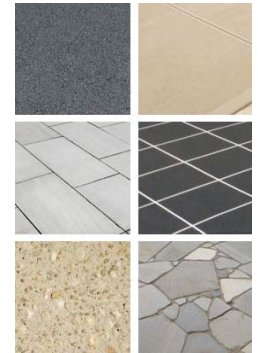
Example render palette:



Example feature materials:



Example driveway palette:



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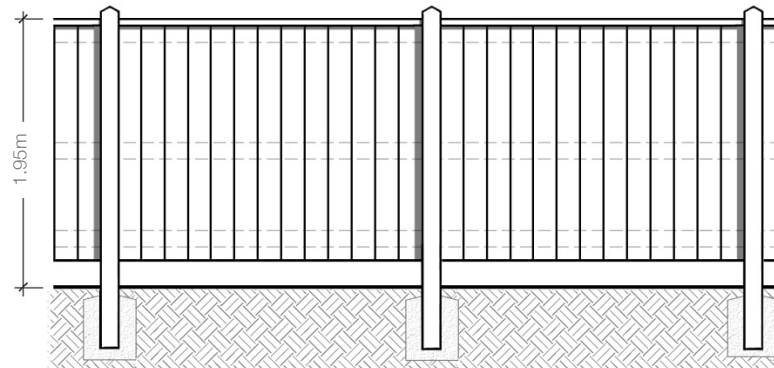
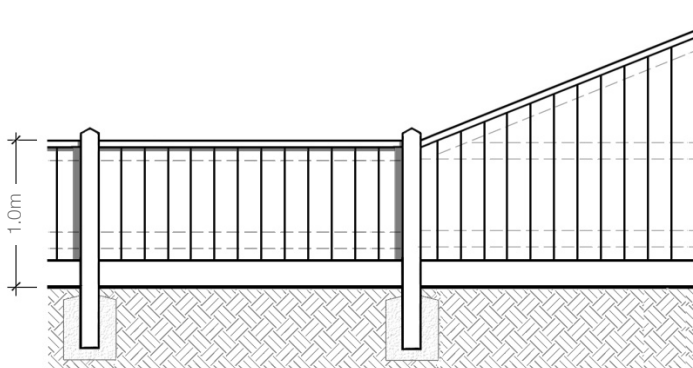
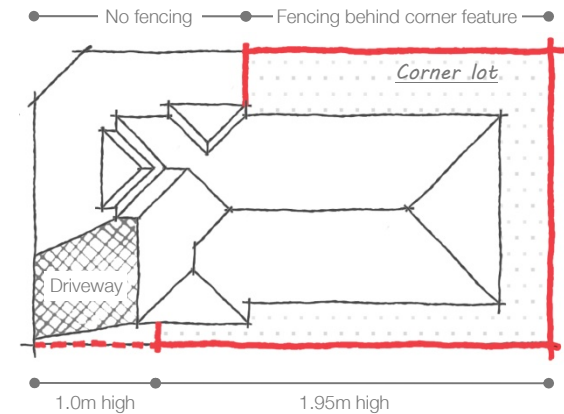
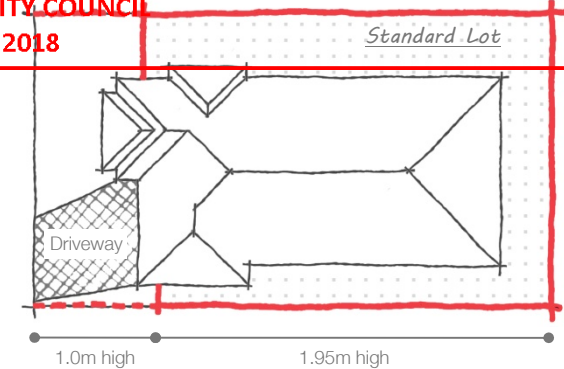
Fencing layout diagrams:

17. driveways

- Driveways must be constructed within 3 months from the issue of the Certificate of Occupancy.
- Permitted driveway finishes include:
 - Exposed aggregate
 - Coloured concrete
 - Masonry pavers (min 300mm X 300mm)
 - Bitumen/asphalt edged with bricks or pavers
- Grey concrete (uncoloured/unpainted/natural) driveways will not be permitted. 'Colour on' is the minimum standard.
- Permeable driveways (ie, gravel) will not be permitted.
- Bright coloured driveways will not be permitted. Tones which are consistent with the images shown on page 11 must be used.
- Driveways shall be constructed to allow suitable pedestrian access to the dwelling entry (porch). Where a separate walkway is proposed, paving selection shall match or blend with the driveway finish.
- Driveways must taper to generally match the width of the crossover at the front boundary. Excessive concreting in the front yard will not be permitted.
- Driveways must be offset from the closest side boundary by at least 400mm to allow for a garden bed.

18. boundary fencing

- Boundary fencing must be constructed from capped timber palings with exposed posts (125mm X 75mm posts with minimum 2.4m post spacing).
- Boundary fencing must be 1.95m in height, dropping down to 1m in height along the side boundaries in the front yard.
- Corner lots: Fencing along a side boundary which abuts a road must stop at least 3m behind the front wall of the dwelling and behind the corner feature, whichever is greater.
- Side boundary fencing must return at 90 degrees to abut the dwelling or garage (return fence). These fences, including any gates, must be constructed from capped timber palings with exposed posts to match the boundary fencing, or from an alternative timber style such as merbau slats. Return fences/gates must be setback to allow access to meter boxes.
- Fencing must not be painted or stained without approval from the DRC.



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19. front fencing

- Fencing along the front boundary is not encouraged, however, may be permitted with the approval of the DRC.
- Front fence proposals must comply with the following:
 - A maximum height of 1.0m
 - At least 30% transparent (not a solid mass)
 - Contemporary design which complements the dwelling façade
- Acceptable styles may include timber slats, post and wire, timber posts with corrugated sheet metal feature panels and masonry pillars with metal or timber picket infill,. Alternatives will be assessed on their merits.

Acceptable & unacceptable front fence designs:



20. ancillary items

- Services and ancillary items must be located to minimise visibility from neighbouring properties and the streetscape and shall be of an appropriate size, colour and finish. This includes but is not limited to items such as:
 - External plumbing (excluding gutters & downpipes)
 - Evaporative cooling units
 - Split system heating/cooling units
 - Antennae and aerials
 - Satellite dishes
 - Clothes lines
 - Rubbish bins
 - Meterboxes
 - Hot water units
 - Solar/PV panels
- Note: solar/PV panels are not permitted on the front elevation unless specifically approved by the DRC. Corner lots may install panels to the corner side elevation where required for solar efficiency.
- Trucks or commercial vehicles (exceeding 1.5 tonnes), and all recreational vehicles including boats and caravans shall be screened from public view when parked or stored.
- Demountable homes or buildings of a temporary nature are not permitted.
- Internal window furnishings must be fitted within 3 months of occupancy. Sheets, blankets, paper or similar materials will not be permitted.
- The use of roller shutters or fabric awnings to windows is prohibited unless approved by the DRC.
- Outbuildings should be constructed from brick, stone, rendered concrete, concrete sheet, timber or coloured non-reflective materials.
- Sheds and outbuildings should be designed and located in a way which minimises visibility and potential impact on neighbouring properties and the streetscape.
- The size and design of ancillary structures, such as pergolas and verandahs should be unobtrusive and consistent with/complementary to the dwelling design.
- No signs, including 'For Sale' or 'For Lease' signs may be erected except with the approval of the DRC.

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21. letterboxes

- Letterboxes must be designed to match and compliment the dwelling design. Generic single post supporting letterboxes will not be permitted.



22. landscaping

- Landscaping of front gardens must be completed to an acceptable standard and within 6 months from the issue of the Certificate of Occupancy.
- All areas forward of the wing fencing must be landscaped. All areas of the landscaping area which are not paved are to be landscaped using plants, grass, shrubs, groundcovers or trees. This includes lots where vehicle access is via a rear laneway, which must provide landscaping to any areas exposed to the public realm (next to the garage, forward of the wing fencing).
- No more than 40% of the landscaped area (excluding driveways) is to comprise hard surfaces such as paving, except with the approval of the DRC.
- Garden beds must be densely planted to ensure good coverage of growth (min 5 plants per square metre).
- At least 1 canopy tree must be provided to the front yard which must be at least 1.2m tall at the time of planting. Tree placement must allow for sufficient space/setbacks from the dwelling.
- It is encouraged that planting species are selected from the 'Indigenous Plant List of Wyndham City'

Preparation of front landscaping plan

- A landscape plan encompasses a number of elements including planting, paving, drainage, soil protection, water conservation, screening, materials, vegetation and built form. In simple terms, it should provide detail to the areas of the site where no building/construction takes place.
- Front landscape design should consider the following objectives:
 - Creating a visually attractive, easily maintainable garden
 - Complementing the dwelling
 - Maintaining, respecting and improving the character and appearance of the neighbourhood and streetscape; and
 - Providing a range of environmental benefits, including the promotion of vegetation which is native to the Wyndham area
- Front landscaping plans must show the following:
 - Clearly drawn/drafted at a scale of 1:100 with a north point and legend
 - Outline of all built features including dwelling, fencing, crossover, driveway and letterbox
 - Clear symbols/graphics to indicate the selected species of trees, shrubs, ground covers, grass etc
 - Botanical and/or common name, quantity, planting density.



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Realise your dream

Design Review Committee

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